

GENERAL NOTES

**GENERAL SPECIFICATIONS**

-All information including dimensions and specifications must be verified by Builder before proceeding with construction, any discrepancies to be reported to designer immediately.

-Any variances from the plans to conditions found on site are the responsibility of the Owner / Builder

**CODES & STANDARDS**

-All work shall comply with the Building Code of British Columbia and the National Building Code of Canada, 2018 Edition.

-Compliance with municipal or regional zoning, health and other bylaws is the sole responsibility of the owner / builder.

**SITE PLAN**

-All layouts shall be confirmed by a registered B.C. Land Surveyor.

-All setbacks shall be confirmed by the owner/builder and by the authorities having jurisdiction in the area.

-All grades and elevations are the responsibility of the owner/builder and any modifications are to be made on site.

-Conformity of these plans to the actual site, in any respect, is the responsibility of the owner/builder.

-all local health and zoning bylaws must be respected.

**STRUCTURAL DESIGN**

Structural is based on criteria stated in Part 4 and Part 9 2018 B.C.B.C.

Ground Snow Load 40.7 psf. 1.95 kpa

Rain Load 8.4 psf. 4 Kpa

Roof Live Load 30.8 psf. 1.5 kpa

Roof Dead Load 20 psf. 1.5 kpa

Floor Live Load 40 psf. 1.9 kpa

Floor Dead Load 30 psf. 1.4 kpa

Seismic Design Load 1.2 < Sa(0.2) ≤ 1.8

Braced Wall bands & panels to 9.23.13.

**STAIRS**

	RISERS	
PRIVATE STAIRS	MAX 200	MIN 125
PUBLIC STAIRS	MAX 189	MIN 125
	RUNS	
PRIVATE STAIRS	MAX 355	MIN 255
PUBLIC STAIRS	MAX no limit	MIN 280

HEIGHT OF HANDRAILS 34"- 42"

865 mm to 1070 mm high

**CONCRETE AND FOUNDATIONS**

-The compressive strength of concrete mixed after 28 days shall be not less than:

a) 25 Mpa for walls, columns, fireplaces, chimneys, footings, foundation walls, grade beams and piers

b) 32 Mpa for floors other than those in garages and carports

c) 35 Mpa for garages and carport floors, and exterior steps

-Concrete footings must be placed on undisturbed, non-organic, compacted soil to a suitable depth below frost penetration. ( min. 3000 p.s.f. 150 kpa )

-All Grades are estimated only and shall be adjusted on site.

**LUMBER FRAMING AND BEAMS**

-All beams supporting point loads shall be sized by an engineer.

-All spans shall conform to the tables set out in "The Span Book" and the National Building Code of Canada.

-Verification of all spans is the responsibility of the Owner/Builder.

**TRUSSES**

-Trusses and layout are to be engineered and installed according to the manufacturer's specification, including all bracing.Truss mfg to provide snow loads

**ROOFING**

-All roofing shall be applied to manufacturer's specification.

-All roofing shall include Eave Protection from ice dams and snow build up.

**PLUMBING & ELECTRICAL**

-Any electrical shown on plans is to serve as a guide only and must be installed by qualified personnel.

**FLASHING**

-All exposed openings shall be provided with adequate flashing.

-All roofing shall incorporate step flashing.

-All penetrations through roof shall include appropriate flashing

**DOORS - ROUGH OPENING SIZES**

-Frame opening 2" wider than door.

-Frame height 83.5" for exterior doors.

-frame height 82.5" for interior doors.

-frame opening 1/4" wider than Bifold doors.

-frame height 80" for Bifold doors.

**WINDOWS - DOORS**

- All windows / doors must comply with NAFS – North American Fenestration Standard/Specification for Windows, Doors, and Skylights

**GENERAL**

-All dimensions shall be verified by with the manufacturer.

-written dimensions supercede scale.

-Roof truss and floor joist layouts are guidelines only and should be verified by the truss manufacturer or qualified engineer.

-Smoke detectors shall be provided on every floor & sleeping unit

-framing lumber shall be graded #2 or better unless noted otherwise.

**LIABILITY**

Neither WestCoast Design nor R.Clarkston/L. Wallace accept responsibility for the following:

-information provided on existing buildings or site.

-Conformity of plans to site.

-errors or omissions.

- these plans permit the purchaser to construct one dwelling only

**ENERGY EFFICIENCY 9.36. B.C.B.C.**

-ALL EXHAUST FANS MUST HAVE A CAPACITY @ 50 PASCALS

-CATHEDRAL CEILINGS AND FLAT ROOF RSI 4.67

-SKYLIGHT SHAKTS RSI 2.78

-CEILINGS BELOW ATTICS RSI 6.91

-FLOORS OVER UNHEATED SPACES RSI 4.67

-DOOR TO GARAGE RSI 1.10

-ACCESS HATCH RSI 2.60

-UNHEATED FLOORS ABOVE THE FROST LINE RSI 1.96

-HEATED FLOORS RSI 2.32

-FOUNDATION WALLS RSI 1.99

-WALLS RSI 1.99

-SKYLIGHTS U 2.90

-WINDOWS AND DOORS U 1.80

-FRONT DOOR U 2.60

-GLASS BLOCK U 2.90

THESE NOTES FORM AN INTEGRAL PART OF THESE PLANS AND SHOULD NOT BE REMOVED

APPLICABLE CODES

ALL CODES REFERENCED ARE TO BE USED AS AMENDED BY THE PROVINCE OF BRITISH COLUMBIA AND LOCAL JURISDICTION.---- 2018

PROJECT DATA

BUILDING USE : Single Family Dwelling

CONSTRUCTION TYPE :Light Construction

SEISMIC ZONE : S A R 1.2 < Sa(0.2) ≤ 1.8

CLIMATE ZONE 4

COMPLIANCE OPTION: Perscriptive

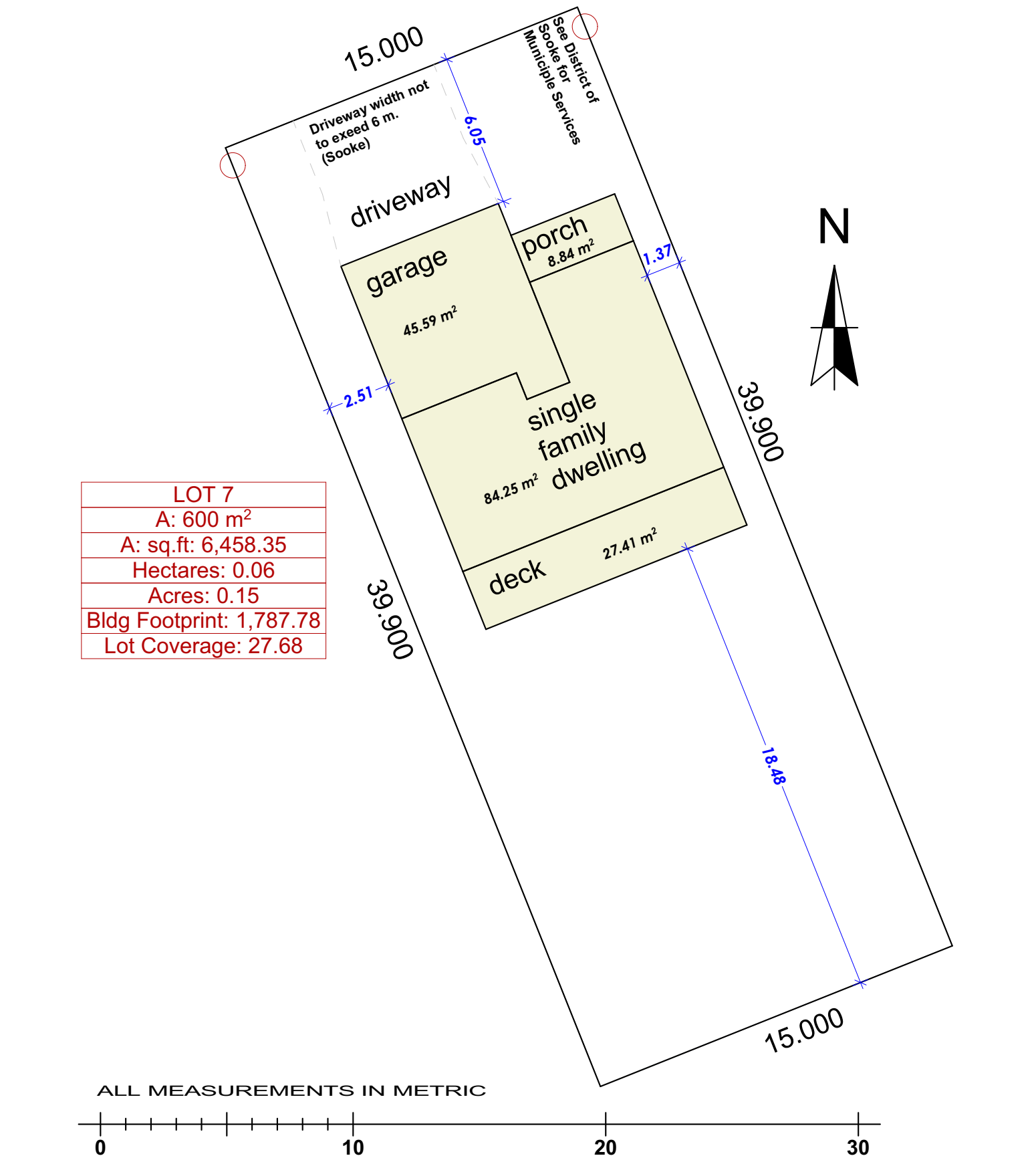
STRUCTURAL ENGINEER:

SOILS & GEOTECHNICAL:

SURVEYOR:

MECHANICAL ENGINEER

ELECTRICAL ENGINEER



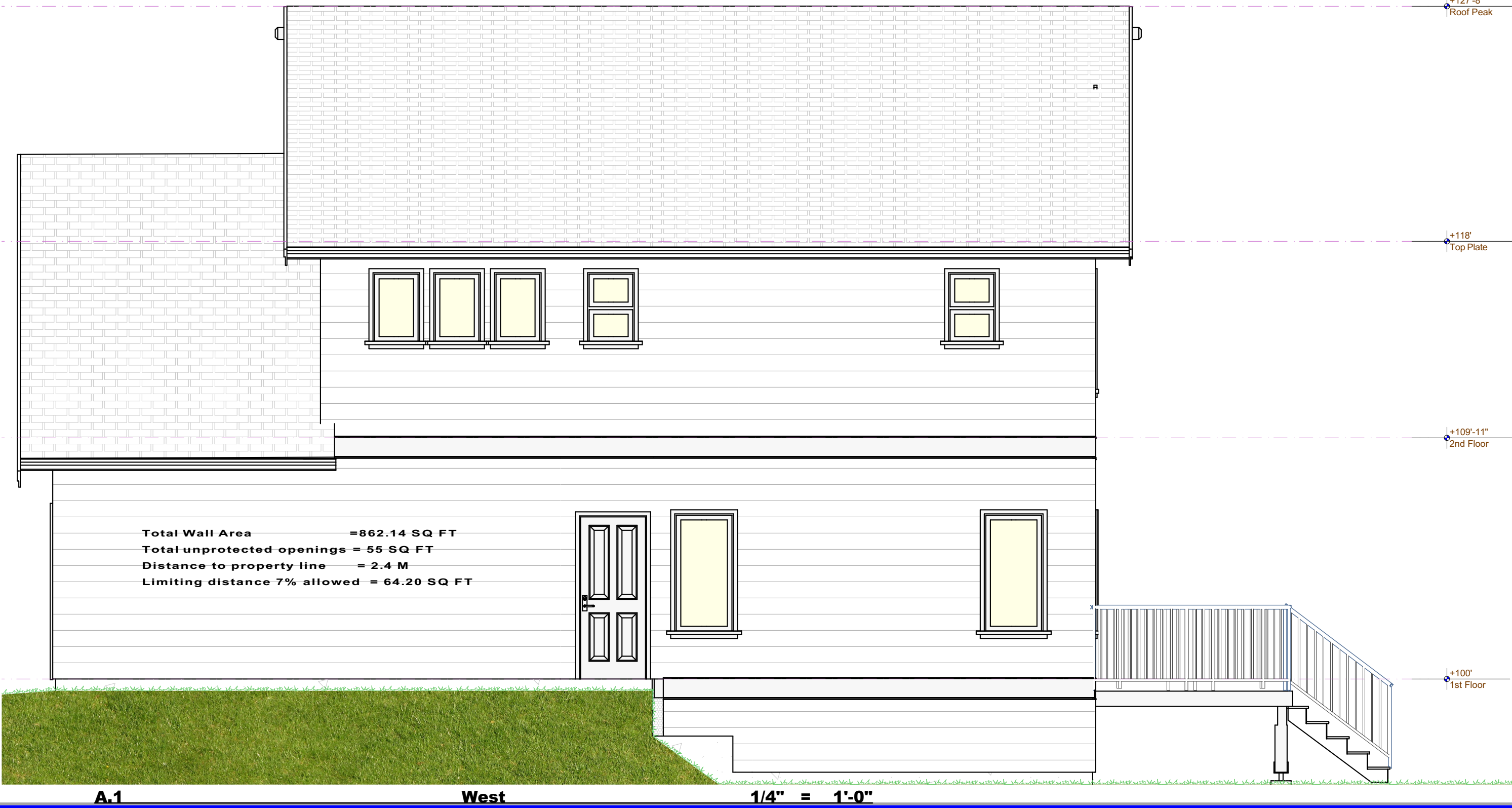
LOT 7
A: 600 m²
A: sq.ft: 6,458.35
Hectares: 0.06
Acres: 0.15
Bldg Footprint: 1,787.78
Lot Coverage: 27.68

A.1 Plot Plan 1:200

LAND AREA Sq.Ft.				
ID	Land Area m2	Land Area ft2	Bldg. Footprint	% Coverage
LOT 7	6,458.35	6458.34	1,787.78	27.68

FLOOR AREA- LIVING SPACE		
1st Floor	MAIN FLOOR	907.17
2nd Floor	SUITE	532.43
2nd Floor	UPPER FLOOR	755.03
		2,194.63 sq ft

GARAGE & DECK AREA		
Story	Name	Area
1st Floor	DECK	294.14
1st Floor	GARAGE	490.68
1st Floor	PORCH	92.77
		877.59 sq ft



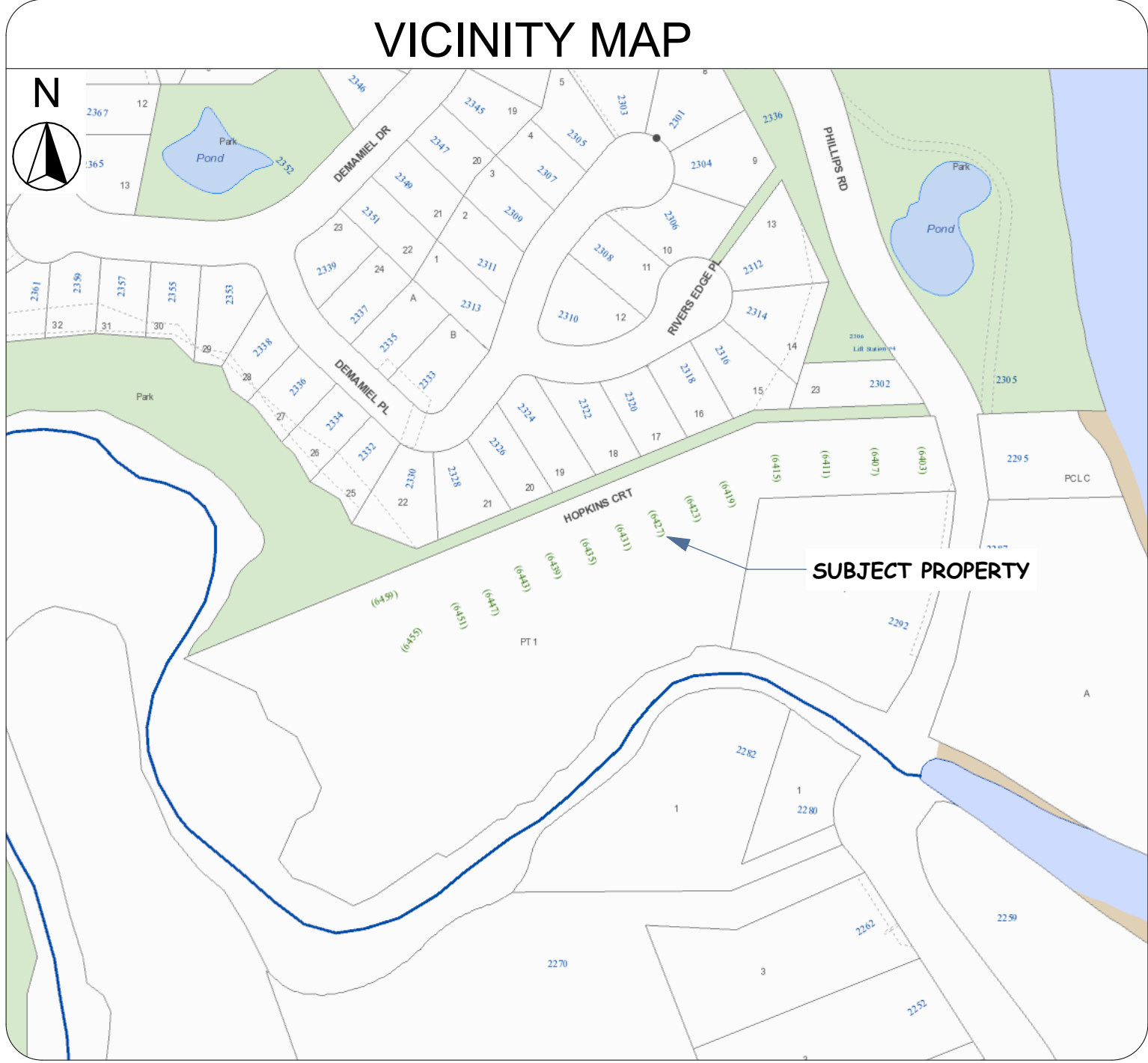
Total Wall Area = 862.14 SQ FT

Total unprotected openings = 55 SQ FT

Distance to property line = 2.4 M

Limiting distance 7% allowed = 64.20 SQ FT

A.1 West 1/4" = 1'-0"



draft copy

PROJECT DATA :

Address: 6427 HOPKINS CRT

Owner: J. KELLY

City: SOOKE

Zoning : R2

Lot: A

Plan: EPP92354

Section: 27

District: SOOKE

Floor Area: 2194.63 ft sq

Decks Area: 386.91 ft sq

Garage Area: 490.68 ft sq

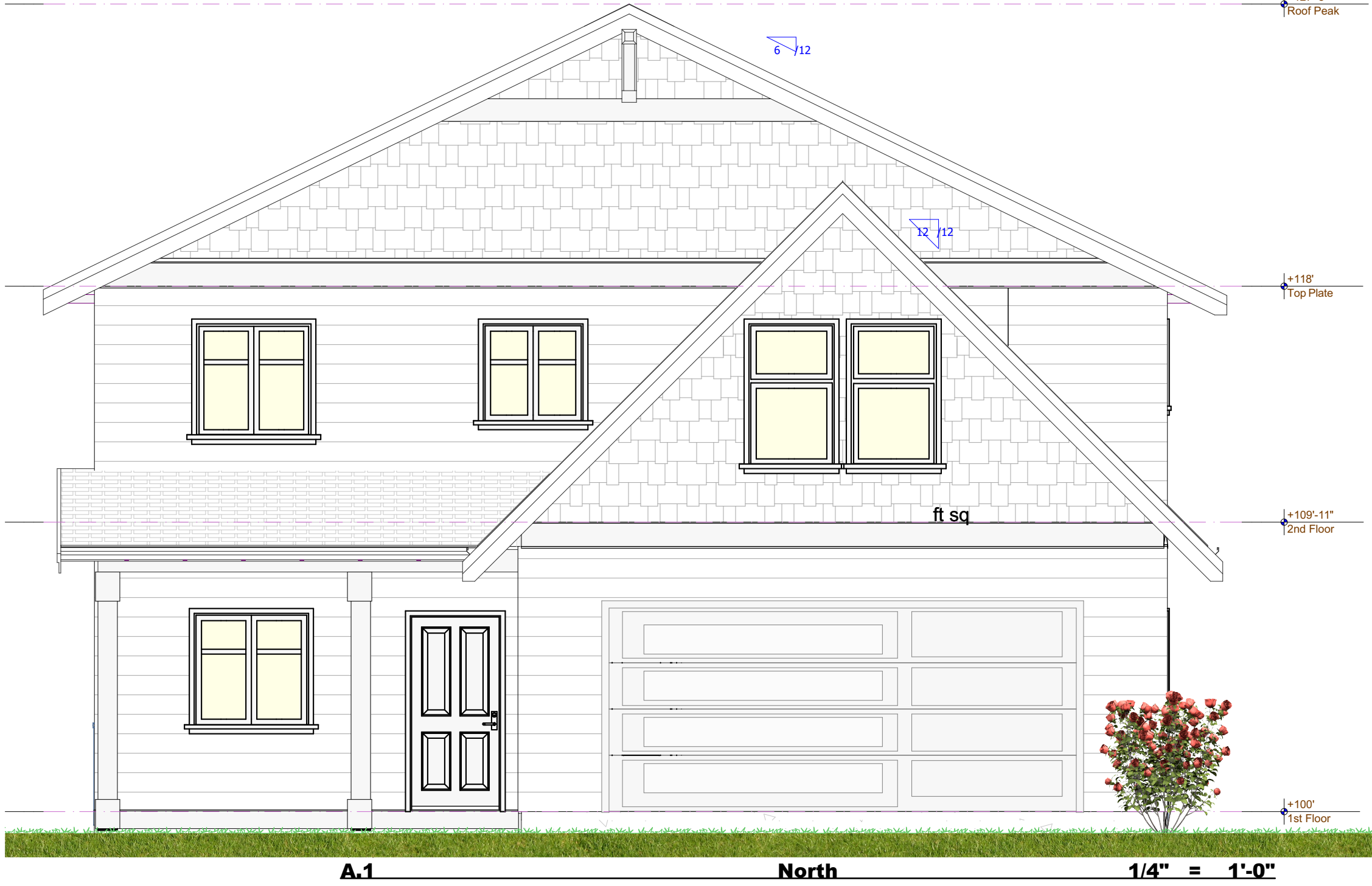
Bldg Height 9.74 M

Setback Front 6.05

Setback Rear 18.48

Setback Side 1.37

Setback Side 2.51



A.1 North 1/4" = 1'-0"



A.1 South 1/4" = 1'-0"

ELEVATION NOTES

ROOFING: fiberglass shingle roof , on 1/2"ply or 7/16" S.B. , with eave protection

GUTTER: Aluminium Gutters , Metal Vented Soffits typ.

FACIA BOARD 2"X 10" primed combed face with 6" primed combed face nib board

GABLE TRIM BAND: 2"x 10" primed combed face , Flashing over & under typ.

CORNER BOARDS: 1"X4" primed combed face perimeter boards

DOOR TRIMS: 1"X4" primed combed face boards

WINDOW TRIMS: 1"X4" primed combed face boards & 2"X4" primed combed face sill board

SIDING:Concrete Board Siding , 2 layers 30 min. paper with Rainscreen as per BCBC

GABLES: Hardi Shingles: 12" O.C. with 2x2" batten, Rainscreen behind , flashing at bottom edge

WINDOWS: double glazed , Vinyl Frames , flashing over typ.

GARAGE DOORS: Wood Stained , Saftey Glass inserts typ.

DOORS :Steel Insulated , painted typ.

PATIO DOORS: safety glass

DECK : 60 mil. vinyl decks on sloped 3/4" t&g ply typ.

HANDRAILS:metal handrails, 42" high -non climbale

LANDINGS:Concrete landings , slope to drain at all exit doors

POSTS : fir posts , 6x6 with gal. post saddles typ.

WEST COAST DESIGN & DEVELOPMENT SERVICES

Randy Clarkston  
Laurie Wallace  
Sooke, B.C.  
250-642-8803

ID	#	VIEW	Last Updated
A.1	1	Plot Plan	10/20/2020 1:10 PM
A.1	2	Plot Plan	10/20/2020 10:10 AM
A.1	3	North	10/20/2020 10:10 AM
A.1	4	South	10/20/2020 10:10 AM
A.1	5	Area Near	10/20/2020 10:10 AM
A.1	6	Area Garage / Decks	10/20/2020 10:10 PM
A.1	7	Land Area Imperial	10/20/2020 10:10 PM
A.1	8	West	10/20/2020 10:10 PM
A.1	9	Foundation Walls	10/20/2020 10:10 PM
A.2	1	Foundation Walls	10/20/2020 10:10 PM
A.2	2	Plot Plan	10/20/2020 10:10 PM

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1" ACTUAL

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BY	REVISIONS	DATE

Date: 10/20/2020

Scale: AS NOTED

Drawn: lw

file name Lot 7.pln

Last Save: Laurie

Plot Plan , Key Plan, North, South, Area Floor, Area Garage / Decks, Land Area Imperial, West

Single Family DwellingsIN CLIENT

J. KELLY

PROJECT DESCRIPTION 6427 HOPKINS CRT

A

EPP92354

SOOKE

Pid #.

PAGE CONTENT

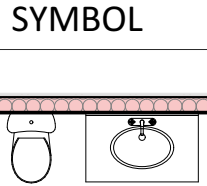


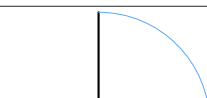
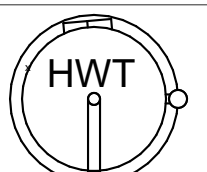


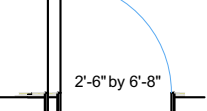
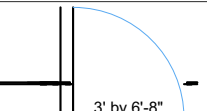
A.1





E-6 EFFECTIVE ROOF / CEILING RSI	
0.12	Interior Air Film
6.78	Truss with R 40 cellulose insulation
0.03	Exterior Air Film
0.08	1/2" Gypsum Board
7.01	TOTAL EFFECTIVE RSI

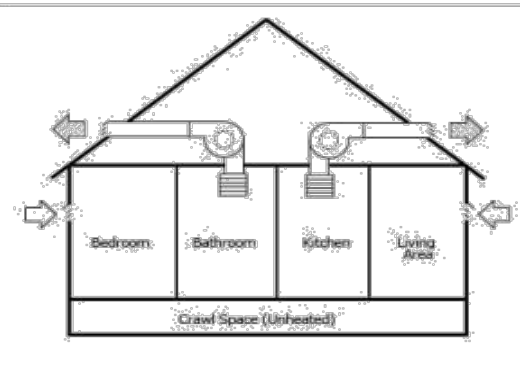
Floor Area, m <sup>2</sup>	Minimum Air-flow Rate, l/s				
	Number of Bedrooms				
	0-1	2-3	4-5	6-7	≥7
< 140	110	21	63	35	42
140-280	21	28	35	42	49
281-420	28	35	42	49	56
421-560	35	42	49	56	64
561-700	42	49	56	64	71
≥ 700	49	56	64	71	78

SYMBOL	Ventilation & Insulation notes
	<i>Mechanical, plumbing or Electrical system components (pipes, ducts, conduits, cabinets, or recessed panels or chases/heaters) within or parallel to wall assembly must be insulated to the same effective insulation level as wall</i>
	<i>Smoke / Heat / Co2 detector each bedroom and each floor Interconnected to Suites</i>
	<i>Principal Ventilation System Exhaust fan: 2089.97sq ft total floor space 3 number of bedrooms 35L/S min. flow rate Capacity @ 50 Pascals Designed to run continuously Controlled by dedicated switch sound rating &gt;1.0 sone</i>
	<i>Windows and doors must have a U-Value no greater than 1.8 Skylights 2.9</i>
	<i>Hot Water Tanks must have a min. of 1.8 RSI must be installed indoors unless otherwise required by mfg. Proved drainpan under provide seismic restrains</i>
	<i>intermittent exhaust fan ( hoodfan) @ 47 L/S (min. 100 CFM)</i>
	<i>Continuous exhaust fan @ 9 L/S all bathroom fans other than principal</i>
	<i>interior doors must be undercut minimum 12 mm above finished floor or provided with transfer grille with min. 100 sq mm area</i>
	<i>Door to Garage must have a min. U value =&gt; 1.1 and must be fume sealed with self closing hinges</i>

ENERGY PERFORMANCE RATINGS		
U-Value <b>1.60</b>	Single Heat Loss Coefficient	Single Transmittance <b>0.19</b>
Energy Rating <b>17</b>	20 Leaky	10 to 15
<b>BC's Best Window Company</b> A100 Series Casement window Vinyl frame, Double glazed, Low-E coating Argon fill		
<b>Certification Agency Logo</b>	Energy performance ratings certified to CSA A440-05. Ratings are determined for a range of environmental conditions and a specific installation profile only. Certification agency does not recommend or warrant product for any specific use.	

All doors & windows to  
conform to N.A.F.S.

Principal Ventilation System Exhaust fan: SUITE  
532.43 sq ft total floor space  
1 number of bedrooms  
14 L/S min. flow rate



**9.32.3.4.(6)** Using passive vents in each bedroom and one common area for supply air distribution is a ductless option for some small houses and apartments. To use this option, the dwelling unit:

- ✱ must be located where the January design temperature is greater than -10°C,
- ✱ has only 1 storey,
- ✱ has a floor area inside the building envelope of less than 168m<sup>2</sup> (1808 sq. ft.), and
- ✱ does not have a ducted forced-air heating system.

The bathroom fan is designated as the principal ventilation exhaust fan, operating continuously as the principal ventilation exhaust fan (see 9.32.3.5) and intermittently as a bathroom fan (see 9.32.3.6).

### MIN. ALLOWED RSI VALUES

SLAB ON GRADE

FOUNDATION WALLS:  
MINIMUM RSI 1.99

WALLS FROM CONDITIONED TO  
UNCONDITIONED SPACE:  
MINIMUM RSI 2.62

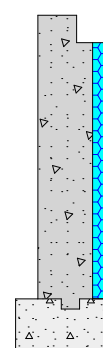
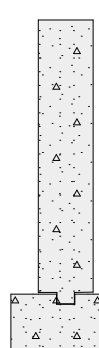

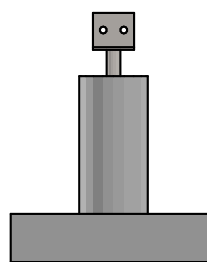
EXTERIOR WALLS:  
MINIMUM RSI 2.78

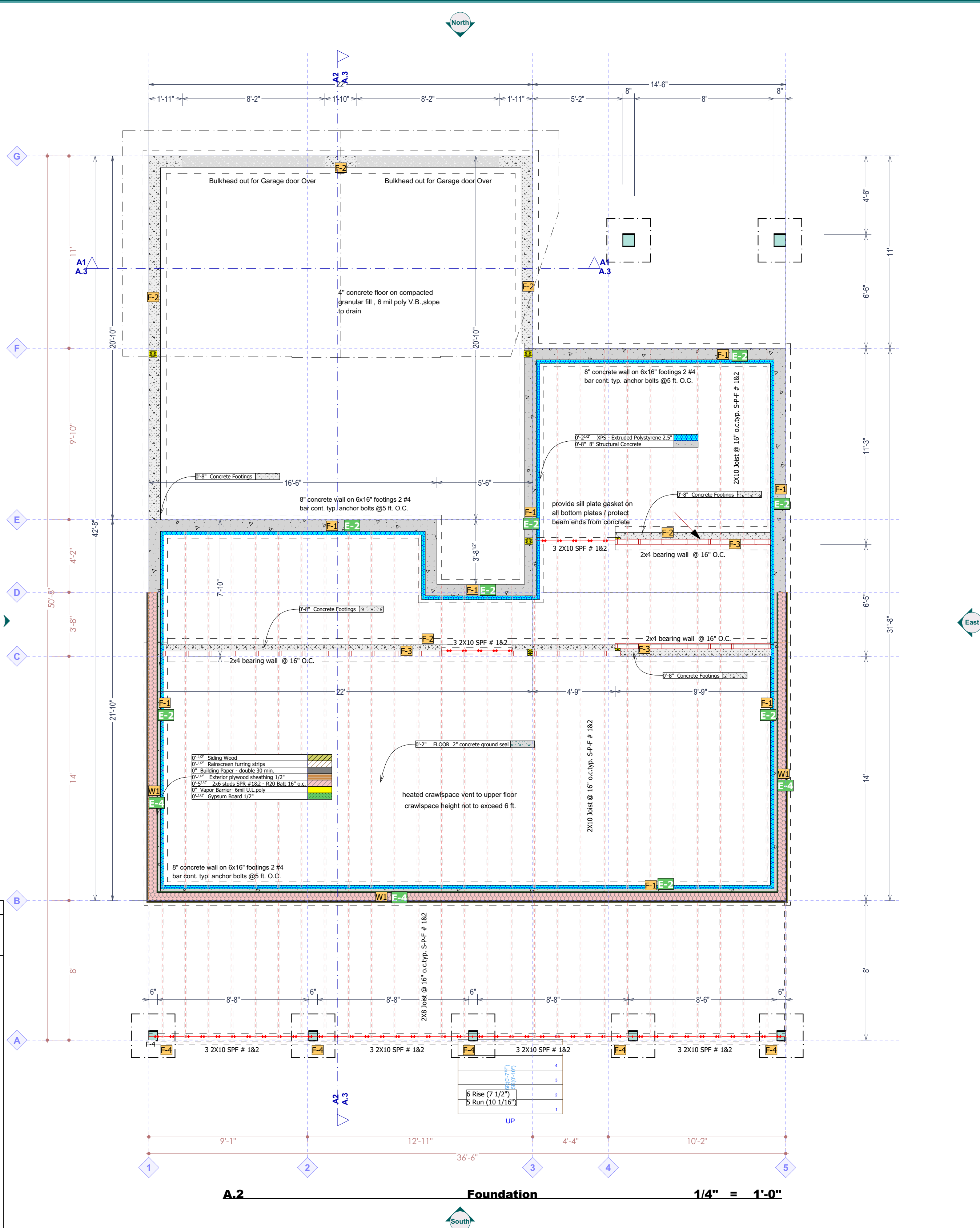
FLOOR OVER UNHEATED SPACE:  
MINIMUM RSI 4.67





CEILINGS BELOW  
ATTICS:  
MINIMUM RSI 6.91

CEILINGS cathedra  
MINIMUM RSI 4.67

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Foundation Walls (Computer generated quantities for guideline only)						
Element ID	F-1	F-2	F-3	F-4		
2D Cross Section Preview						
	- Concrete wall w/insulated slab	- Concrete wall 8"	Empty Fill	03   Concrete Structural		
	U-value	E-2	unrated	Undefined	Undefined	
	Net Volume	13.25	7.26	0.19	0.93	21.63 m³
	General Notes				2'6"x 2'6"x8" conc.ftg with 10" pilaster and Galvanized Post Saddle	



Slab Assemblies						
ID	#	Building Materials	2D Cross Section Preview	U-value	Fire Resistance Rating	Area (sq.ft.)
BASEMENT Insulated floor	3	FLOOR 2" concrete ground seal		E-1	Unrated	947.29
GARAGE	1	structural concrete ; Vapor Barrier- 6mil U.L.poly ; Stone: Gravel Fill		Undefined	Unrated	479.04
MAIN	2	Exterior plywood sheathing 3/4"		Undefined	Unrated	1,418.20
VINYL DECK	1	Deck. vinyl membrane 60 MIL; Exterior plywood sheathing 3/4"		Undefined	Unrated	295.05
	7					3,139.58 sq ft

ID	#	VIEW	Last Updated
A.1	1	Plot Plan	16/09/2020 1:55 PM
A.1	2	Key Plan	10/29/2020 10:16 AM
A.1	3	North	16/09/2020 3:00 PM
A.1	4	South	16/09/2020 3:00 PM
A.1	5	Area Floor	16/09/2020 3:00 PM
A.1	6	Area Garage / Deck	16/09/2020 3:00 PM
A.1	7	Land Area Imperial	16/09/2020 3:00 PM
A.1	8	West	16/09/2020 3:00 PM
A.2	1	Foundation	16/09/2020 1:56 PM
A.2	2	Foundation Walls	16/09/2020 2:53 PM
A.2	3	Slab Assemblies	16/09/2020 2:36 PM
A.2	4	Ventilation and Insulat...	16/09/2020 2:37 PM

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1<sup>st</sup> ACTUAL

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[illegible]

Date: 10/20/2020

Scale: AS NOTED

Drawn: lw

file name Lot 7.pln

Last Save: Laurie

**Foundation, -  
Foundation Walls,  
-Slab Assemblies,  
Ventilation and  
insulation, East**

Single Family DwellingSI

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CLIENT

## CLIENT

**J. KELLY**

## PROJECT DESCRIPTION

### 6427 HOPKINS CRT

**A**

EPP92354

27  
SPOKE

Pid #.

## PAGE CONTENT

## A.2



Great care and effort have been taken in the making of this design and blueprint. Since variations can occur with site conditions, local building codes, municipal bylaws, weather conditions etc., WestCoast Design & Development Services cannot assume any responsibility for damage as a result of errors or omissions. It is recommended that the owner or builder consult a local engineer and check with you local building officials, prior to start of construction

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Date:	10/20/2020
Scale:	AS NOTED
Drawn:	lw
file name	Lot 7.pln
Last Save:	Laurie

- Wall Assemblies,  
CROSS SECTION  
A1, 1st Floor,  
CROSS SECTION  
A2, TYP. WALL  
DETAIL

**J. KELLY**

A

EPP9235

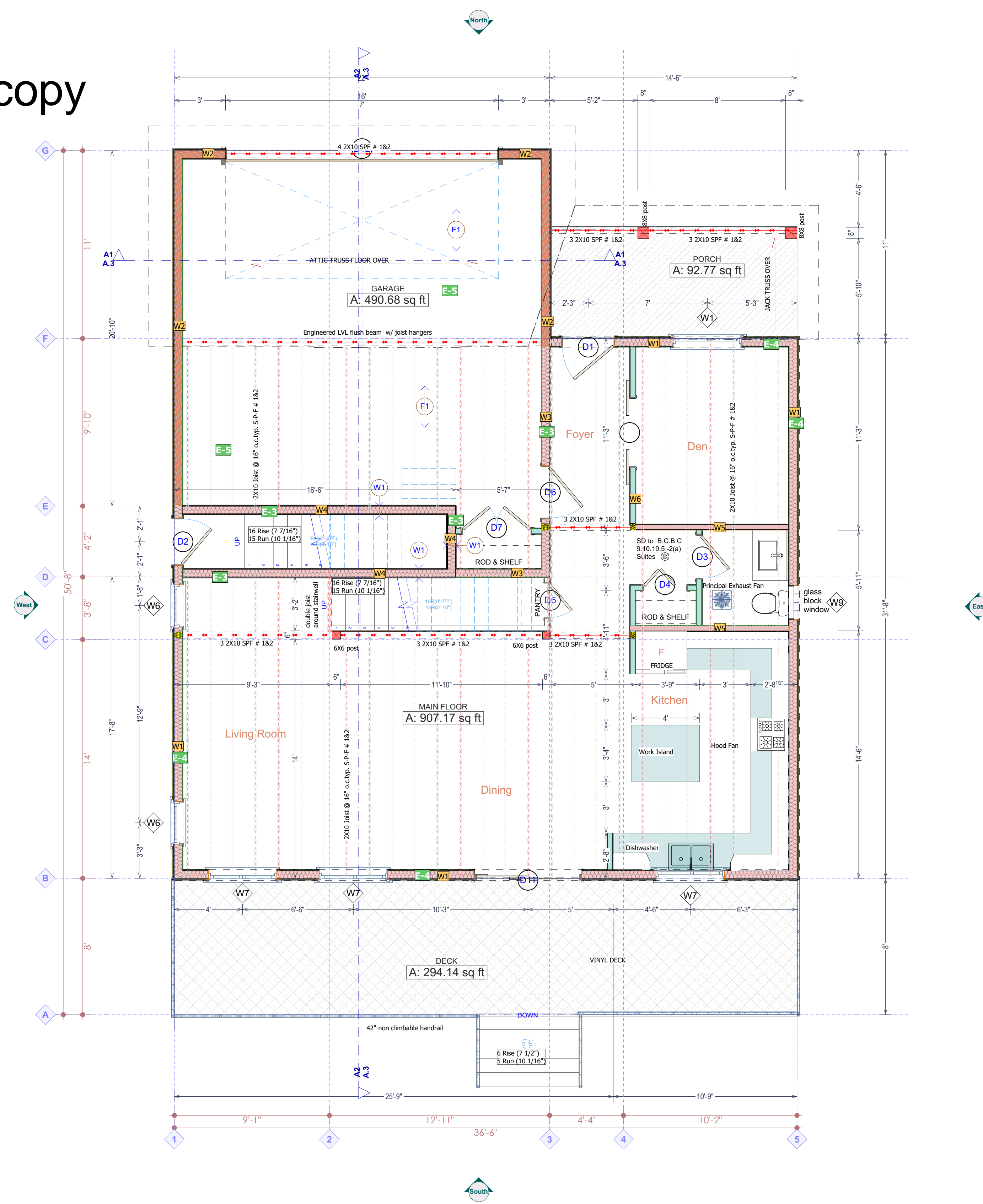
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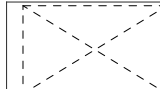











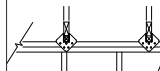


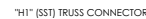






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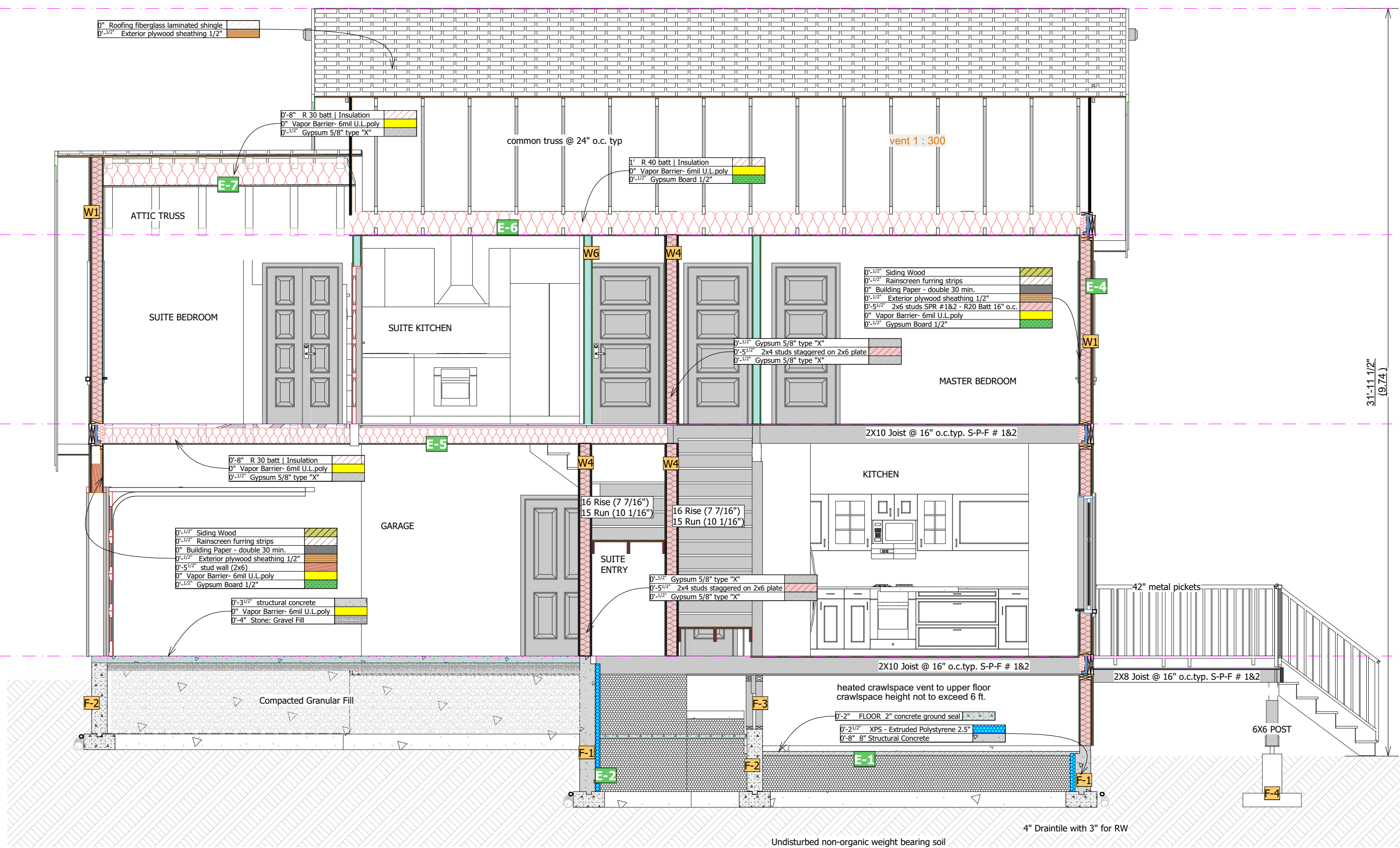
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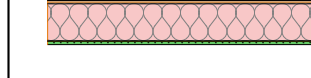
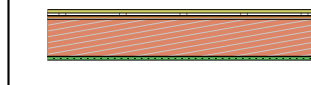
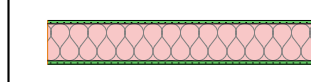
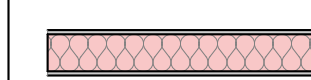


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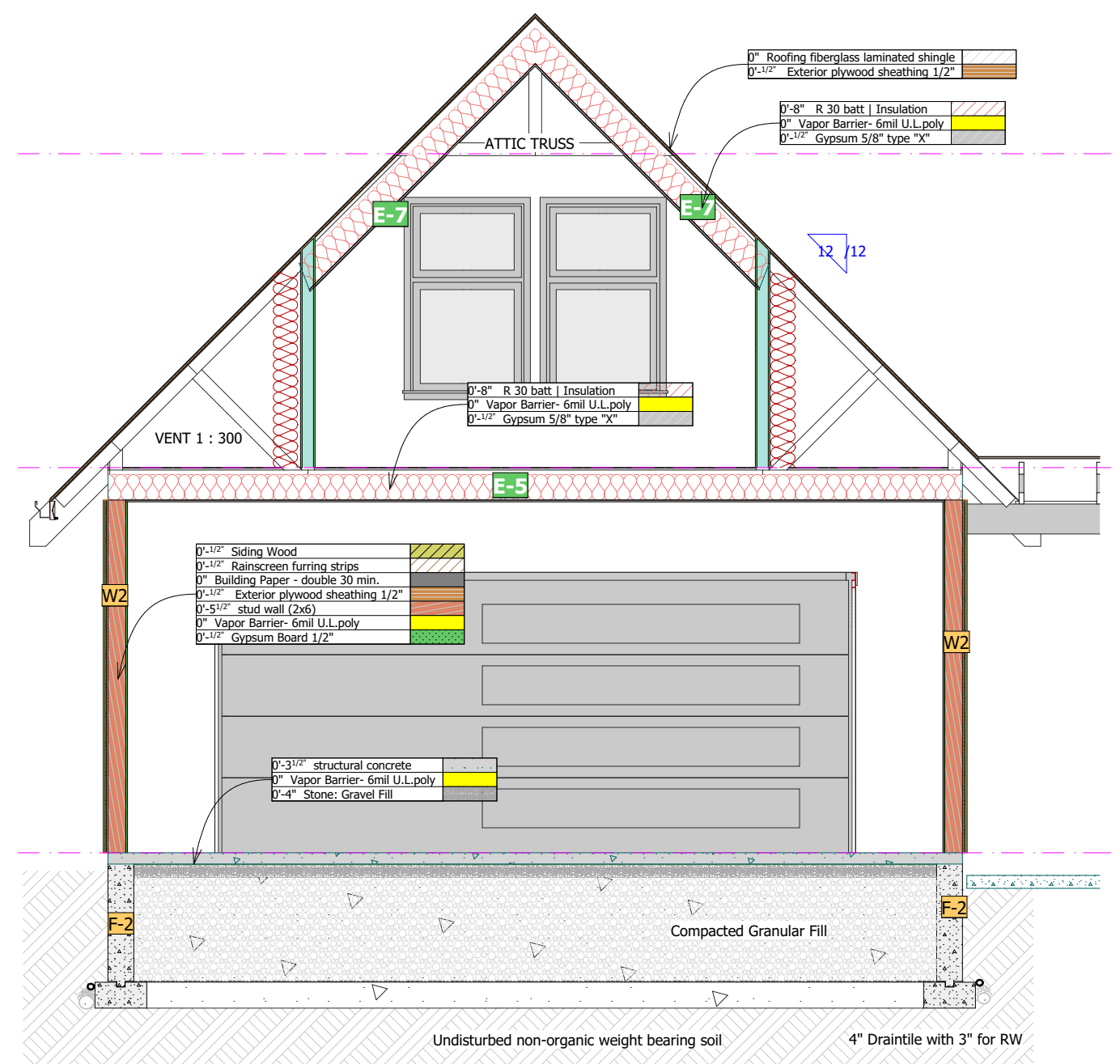


SYMBOLS LEGEND					
	FIRE SEPERATIONS.		FLOOR / CEILING FIRE SEPERATION		ATTIC ACCESS
	WALLS		LOAD BEARING BEAM		CRAWLSPACE ACCESS
	FOUNDATION WALLS		ENGINEERED GIRDER TRUSSES		SMOKE DETECTOR
	ENERGY / INSULATION		ENGINEERED COMMON TRUSSES		INSULATED LOAD BEARING WALL
	PRINCIPAL EXHAUST FAN		STRUCTURAL POST		TRUSS HANGERS / ALL TRUSSES
	HOT WATER TANK		STUDS - BEARING		
	INTERMITTENT EXHAUST FAN		FLOOR JOIST (different spacings and sizes)		
	CONTINUOUS EXHAUST FAN		LOAD BEARING MEMBER		
	WALL FIRE SEPERATION		NON LOAD BEARING MEMBER		

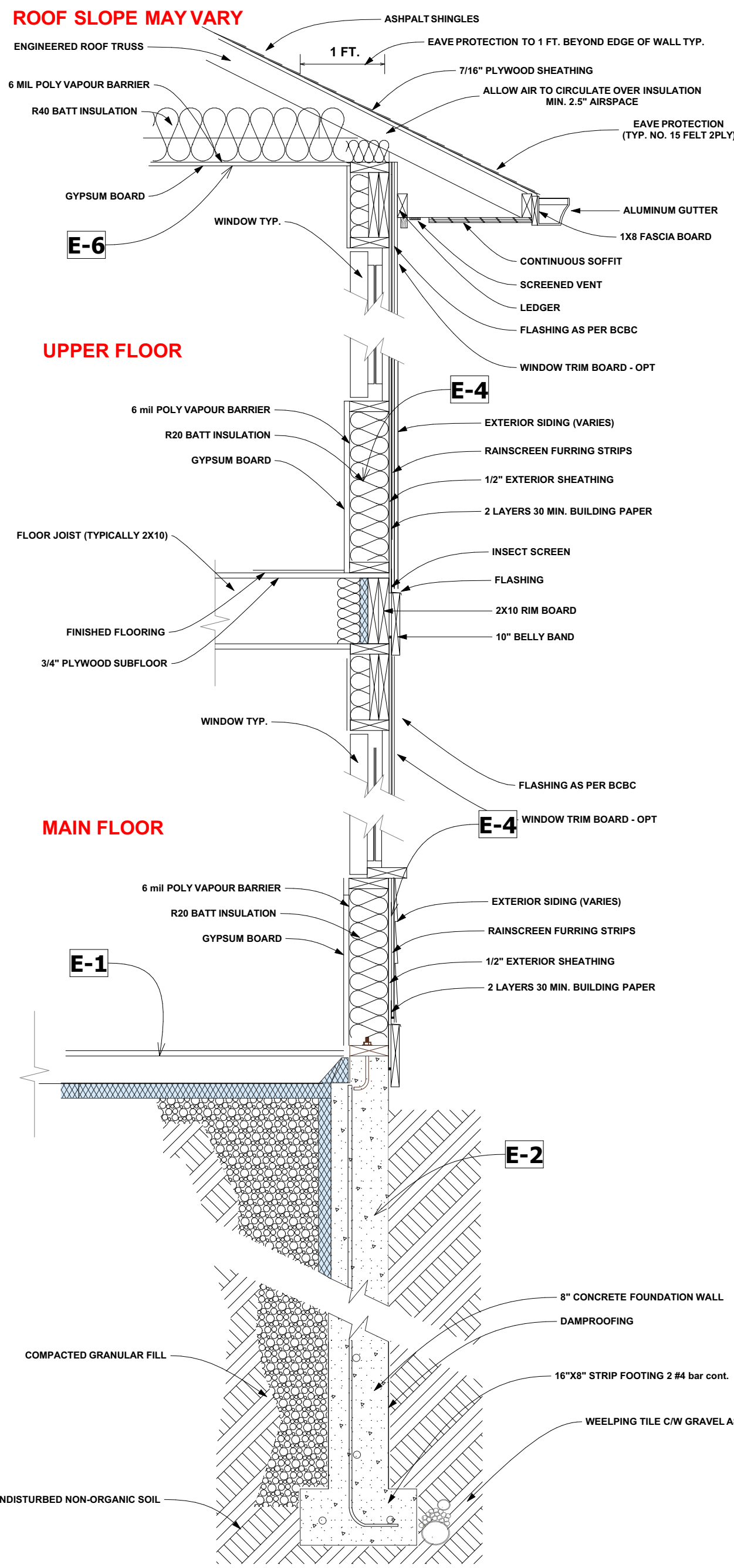


**4 CROSS SECTION A2 1/4" = 1'-0"**

WALL ASSEMBLIES								
ID	#	Name	Building Materials (All)	2D Plan Preview	U-value	Area 1 Face	Length	
W1	15	2x6 Exterior Wall	Siding Wood; Rainscreen furring strips; Building Paper - double 30 min. ; Exterior plywood sheathing 1/2" ; 2x6 studs SPR #1&2 - R20 Batt 16" o.c.; Vapor Barrier- 6mil U.L.poly ; Gypsum Board 1/2"		E-4	2,318.06	323'-1/2"	
W2	3	2x6 Exterior wall (insulation optional)	Siding Wood; Rainscreen furring strips; Building Paper - double 30 min. ; Exterior plywood sheathing 1/2" ; stud wall (2x6) ; Vapor Barrier- 6mil U.L.poly ; Gypsum Board 1/2"		E-4	497.39	53'-9"	
W3	3	2x6 Interior Bearing Wall insulated	Gypsum Board 1/2"; 2x6 studs SPR #1&2 - R20 Batt 16" o.c.; Gypsum Board 1/2"		E-3	180.40	18'-7"	
W4	7	2x4 staggered on 2x6 plate	Gypsum 5/8" type "X" ; 2x4 studs staggered on 2x6 plate; Gypsum 5/8" type "X"		E-3	707.95	78'-7"	
W5	2	2x4 Bearing Wall	Gypsum Board 1/2"; 2x6 stud wall 2x6 @ 16" o.c. typ Bearing; Gypsum Board 1/2"		Undefined	169.40	18'	
W6	36	2x4 Interior wall	Gypsum Board 1/2"; 2x4 @16" o.c. S-P-F # 1 &2; Gypsum Board 1/2"		Undefined	1,966.67	236'-11 1/2"	
						5,839.87 sq ft		



**A.3** **CROSS SECTION A1** **1/4" = 1'-0"**



**5** **TYP. WALL DETAIL** **3/4" = 1'-0"**







